



1510 Longacre Dr.
Houston, TX 77055

front elevation

SCALE: 1/4" = 1'-0"

Code Reference

2021 IRC/2021 UMG/2021 UPC/2023 NEC/2021 IECC

Scope of Work

1510 LONGACRE DRIVE
LOT 11 - BLOCK 12 - TIMBER CREEK
-NEW 2 STORY, SINGLE FAMILY HOME
5,086# 13,144# LOT SIZE, ATTACHED GARAGE,
PRIVATE DRIVEWAY, UTILITIES

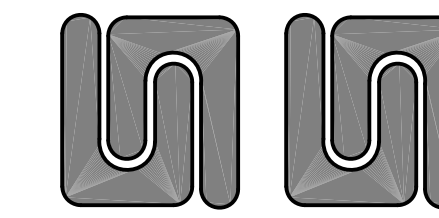
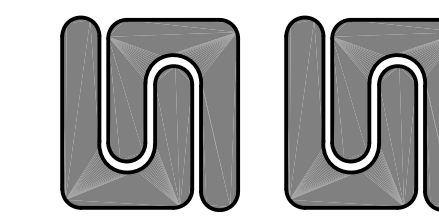
design for:
Gulledge Homes

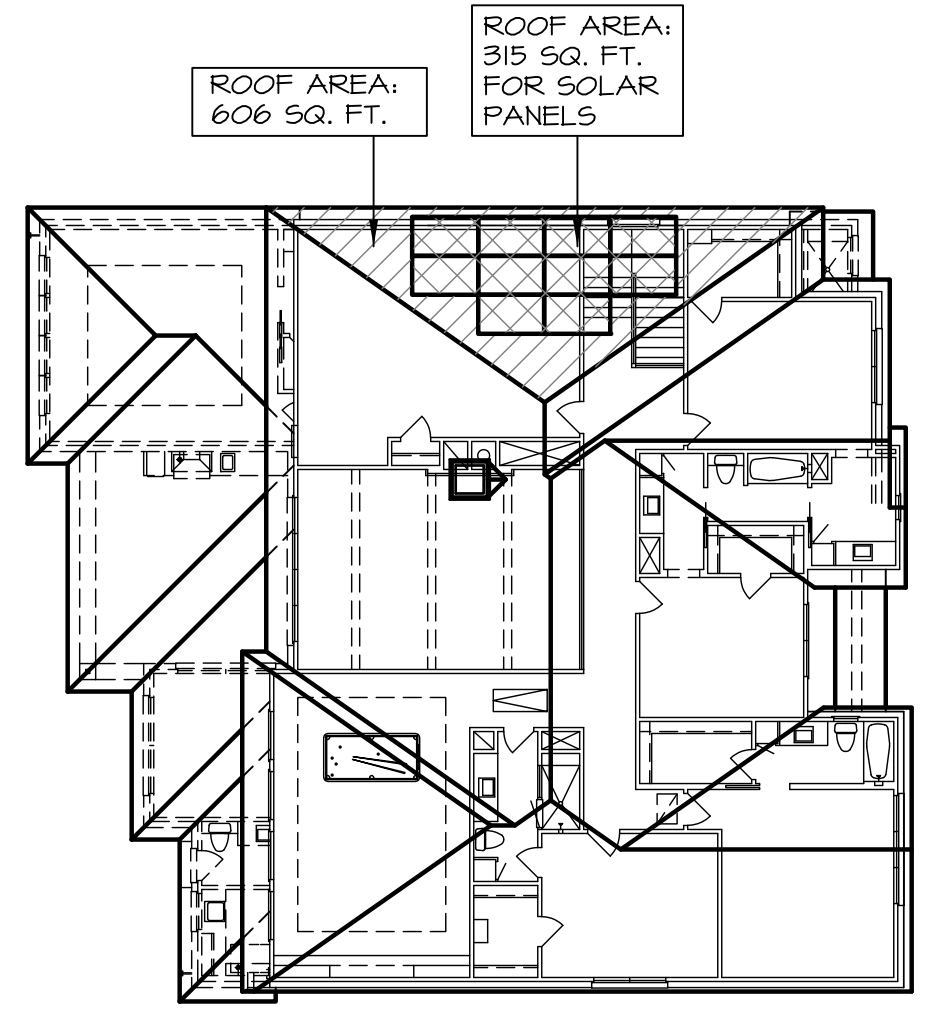
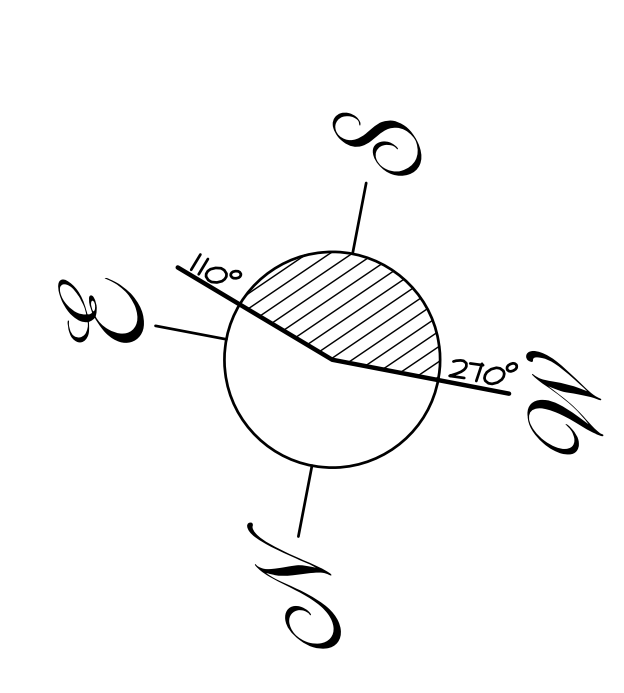
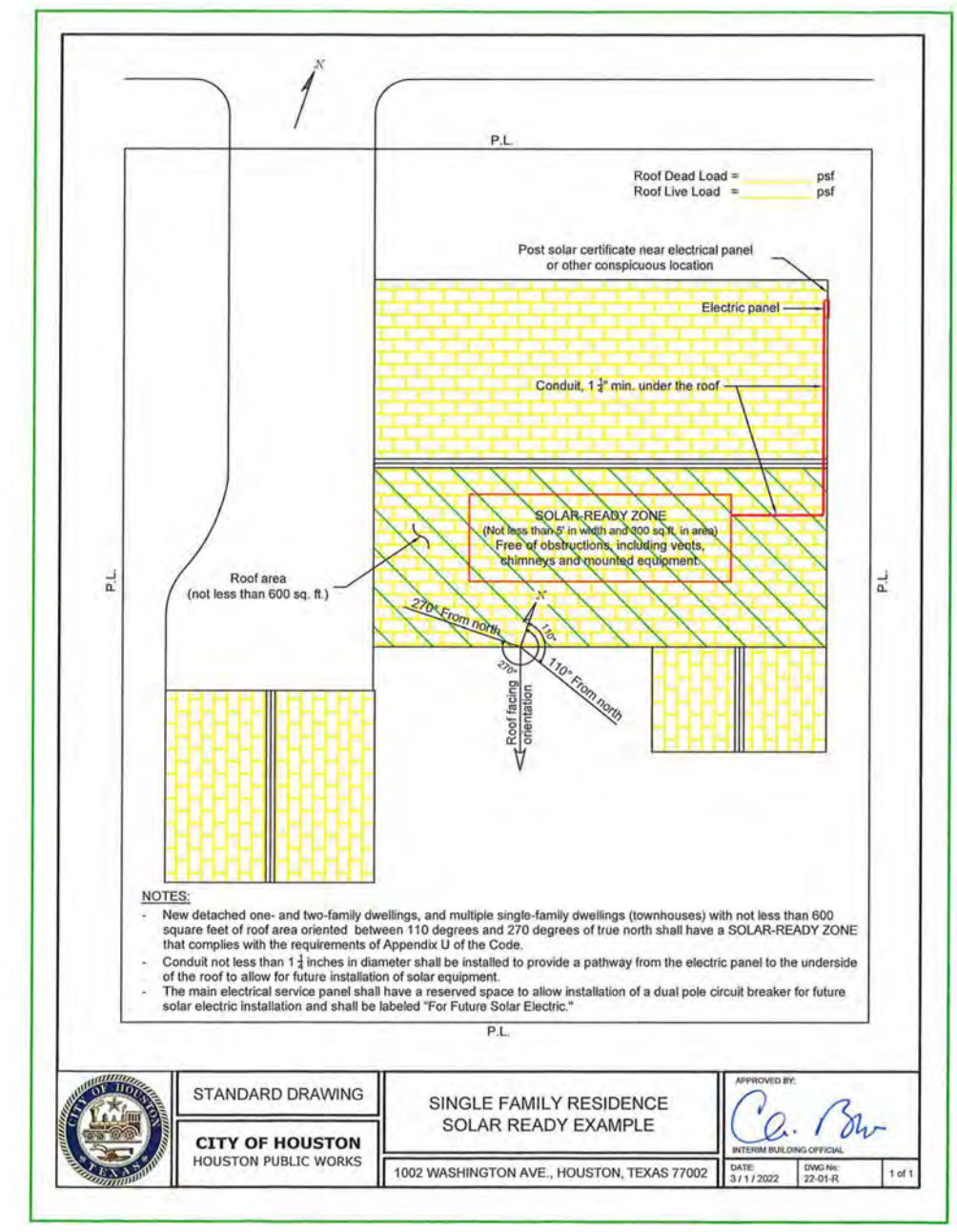
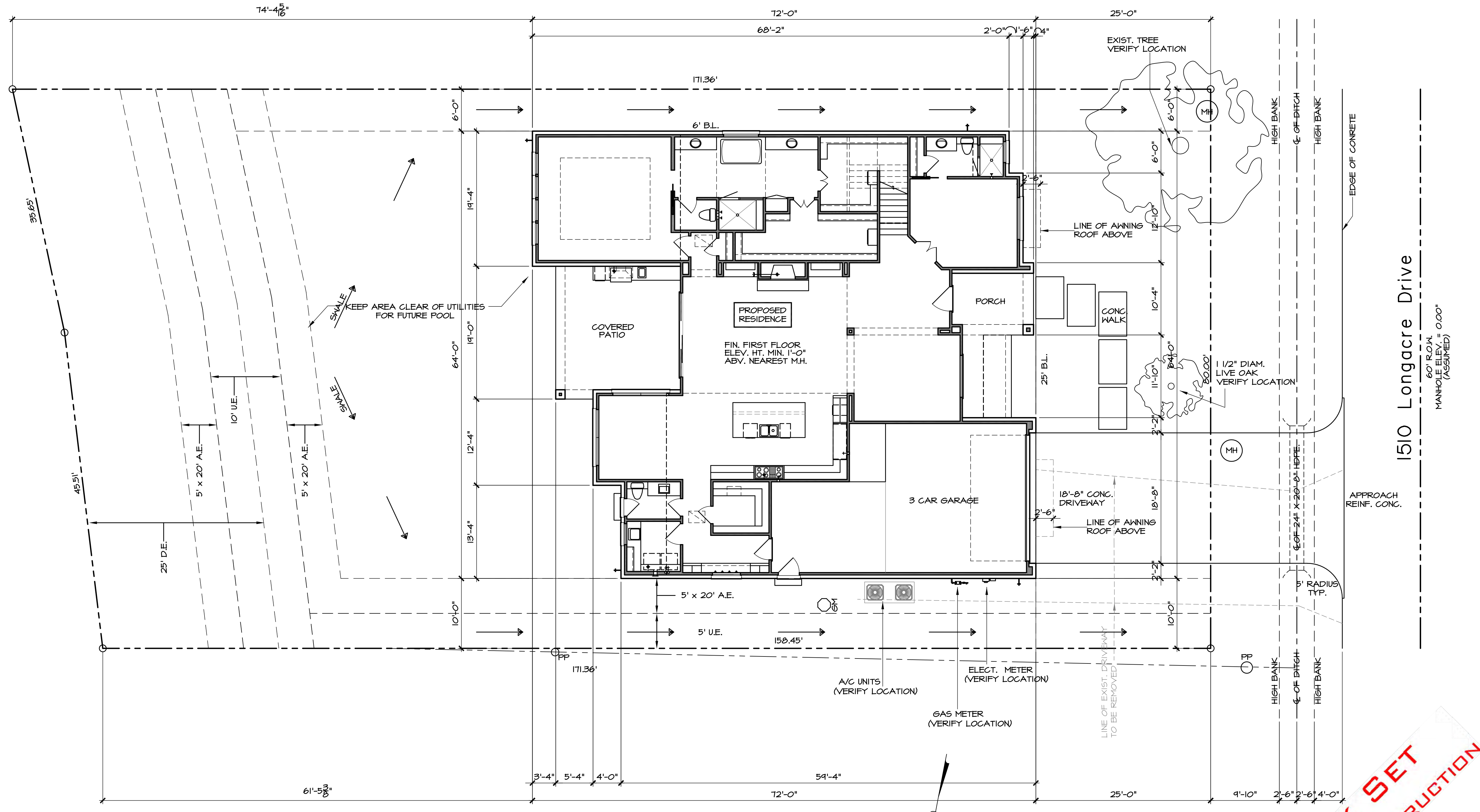
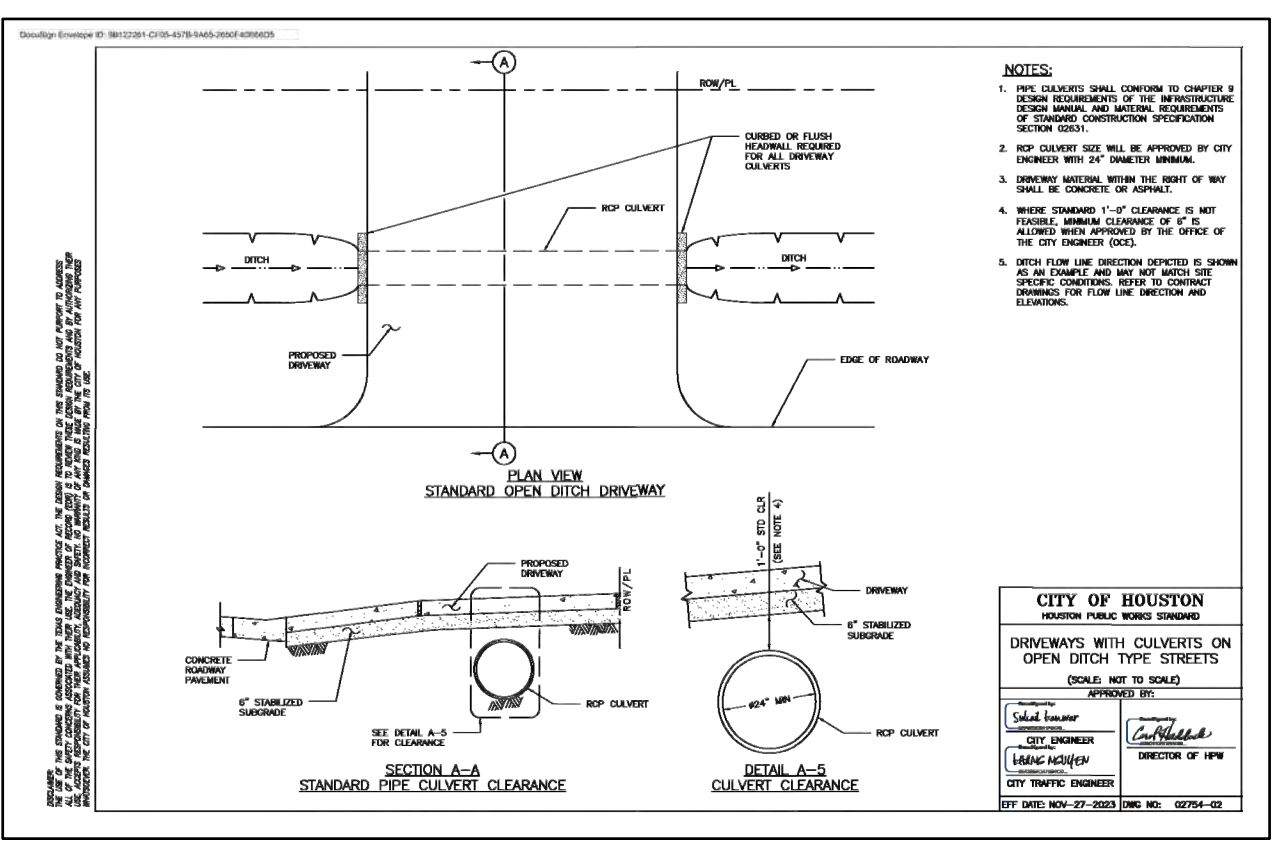
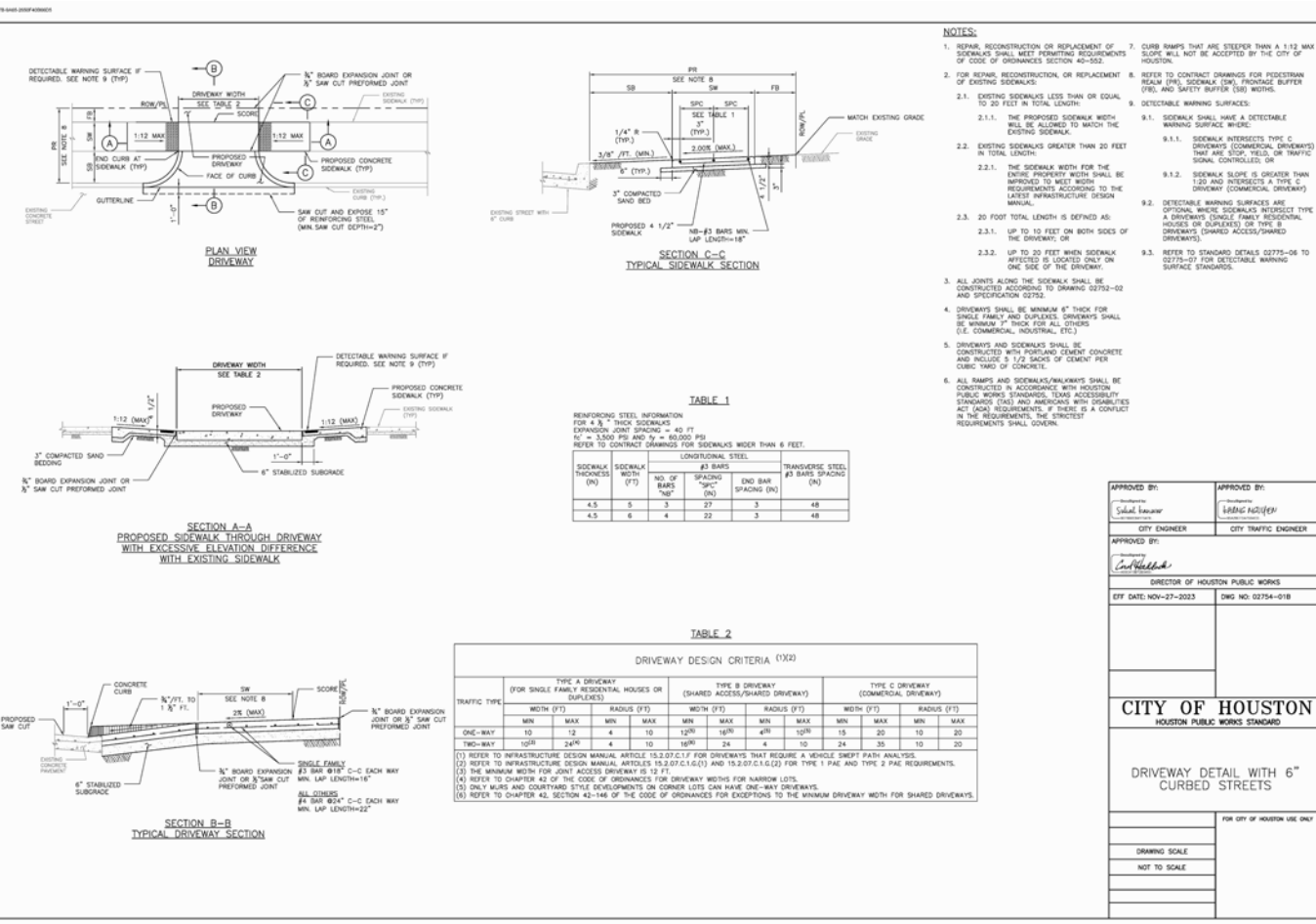
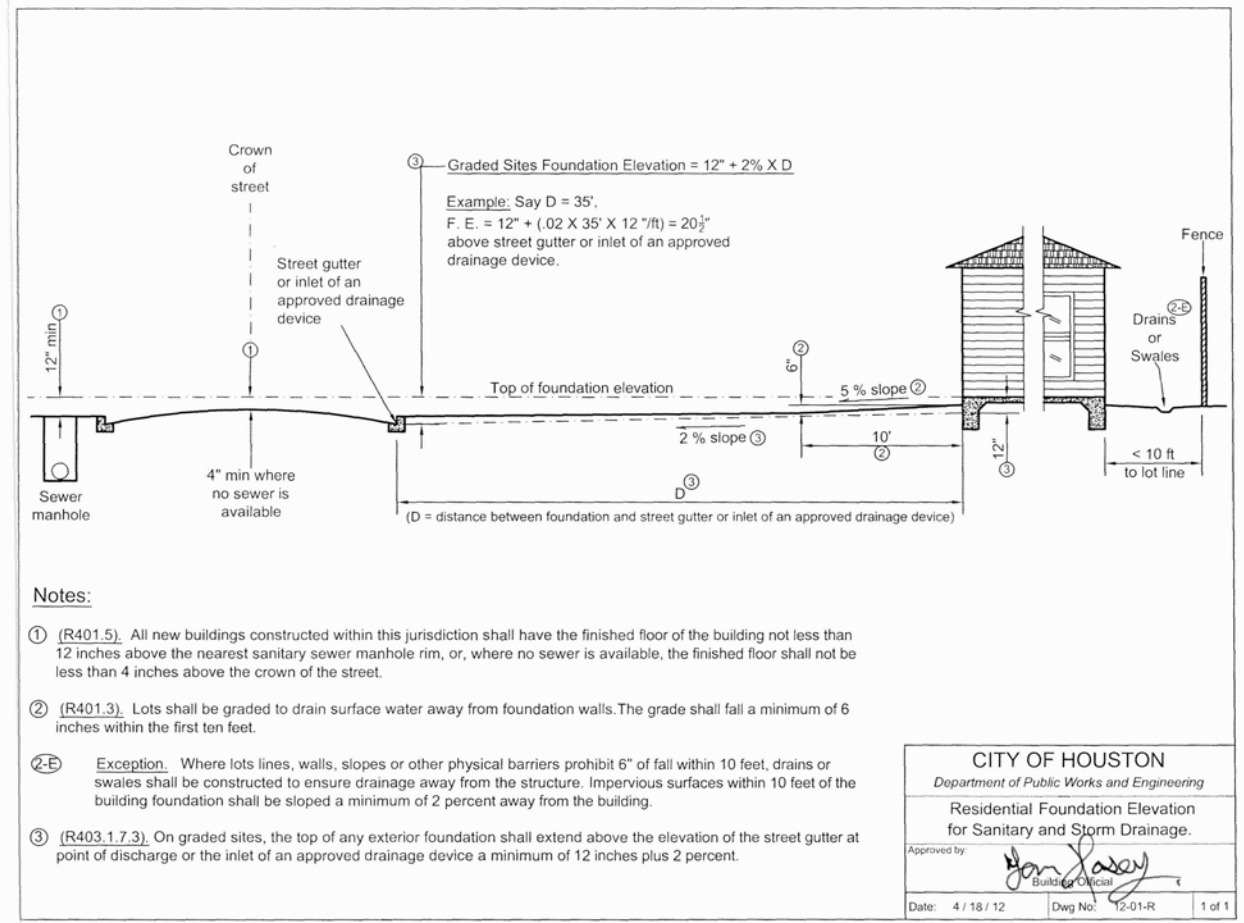
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solar ready calc.
SCALE: 1/16" = 1'-0"

note:
OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.
- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN) ABOVE NEAREST SAN. SEWER M.H. SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5% R401.3)
DRAINAGE: R401.3 EXCEPTION 2021 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

**CHECK SET
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COVERAGE BREAKDOWN

LOT AREA	13144	SQ. FT.
HOUSE PAD	4176	SQ. FT.
BUILDING COV.	31.7%	(60% MAX)
DRIVEWALK	589	SQ. FT.
TOTAL COV.	4765	SQ. FT.
IMPERVIOUS COV.	36.25%	(65% MAX)

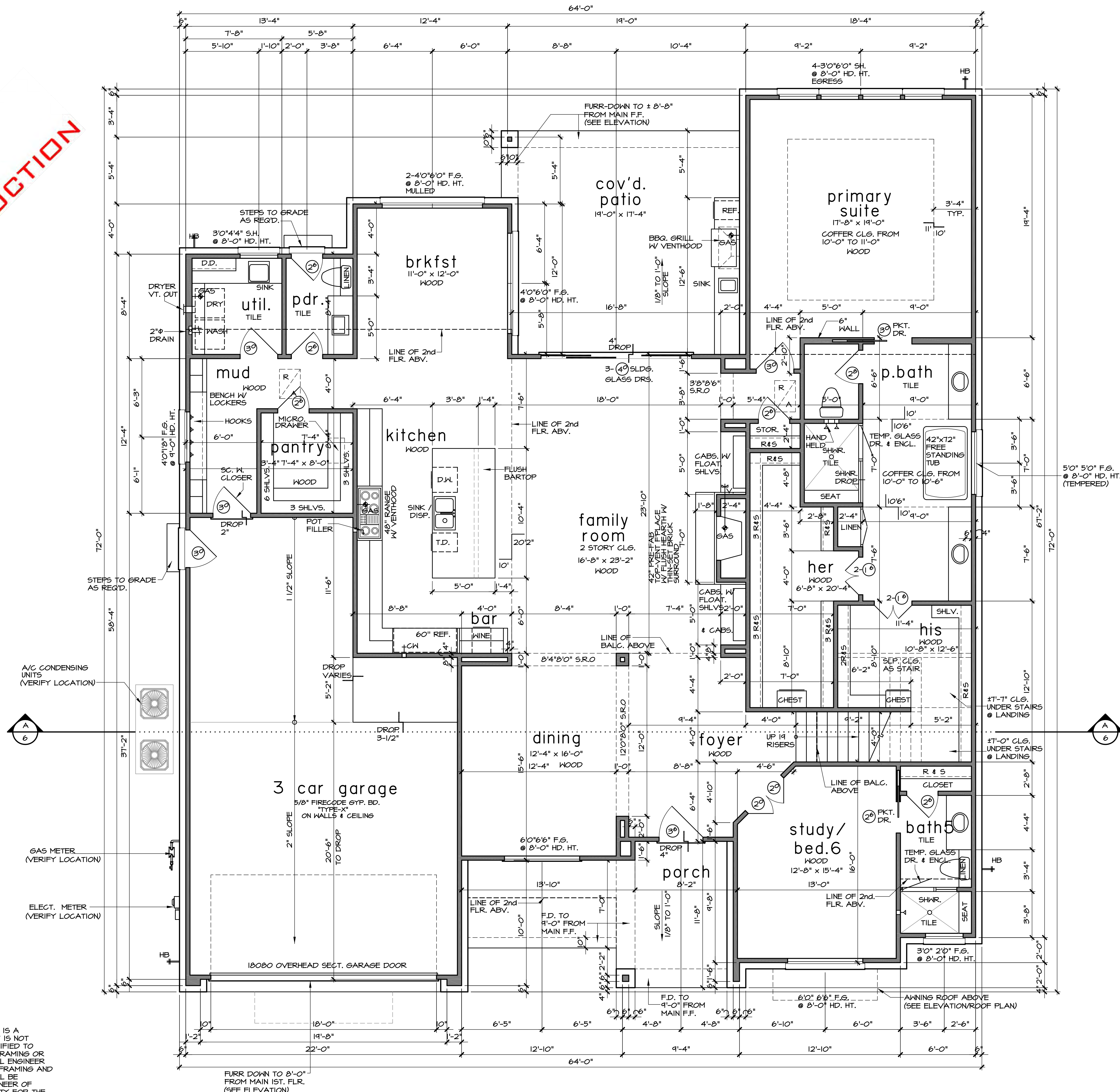
lot 11
block 12
section -
Timber Creek
site plan

SCALE: 1/8" = 1'-0"

VERIFY SETBACKS
06.05.2025
JOB # 250050

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unless otherwise noted

- GYP. BOARD WALLS AND CEILING
- 10'-0" CLG. HT. AT FIRST FLOOR
- 9'-0" CLG. HT. AT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES
- 1 3/4" S.C. DOORS W/ 20 MINUTE RATING
- DOORS BETWEEN HOUSE AND GARAGE SHALL BE SELF-LATCHING W/ SELF-CLOSER DEVICE
- 8'-0" DOOR HT. AT FIRST FLOOR
- 8'-0" DOOR HT. AT SECOND FLOOR
- VINYL WINDOWS WITH DIVIDED LTS.
- 8'-0" HEADER HT. AT FIRST FLOOR
- 9'-0" HEADER HT. AT SECOND FLOOR
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX) 24" HIGH X 20" WIDE (MIN) OPENING WITH 5.7 SQ. FT. (MIN) NET CLEAR OPENING WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
- ALL BEDROOM WIDTH @ 2ND FLR. TO BE MIN. 24" A.F.F.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2021).
- ALL EGRESS DOORS & WINDOWS SHALL HAVE LOCKS ALLOWING EGRESS WITHOUT THE USE OF A KEY AND MEET R310 & R311.
- SMOKE & CO2 DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R314 & R315 (IRC 2021). MULTIPLE UNITS SHALL BE INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A.
- LOCATE GAS WATER HEATER IN ATTIC. LOAD BEARING PARTITION IN PAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND ALL APPL. CODES.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R303 & M1505 (IRC 2021).
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. & IRC 2021 (R1004, R1005 & R1006). A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN BEDROOMS WHEN A GAS FIREPLACE IS INSTALLED AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHICH FUEL-FIRED APPLIANCES ARE INSTALLED & OR HAVE ATTACHED GARAGES.
- STAIRWAYS SHALL COMPLY WITH R311 (IRC 2021). SEE DETAIL SHT.
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD T SHALL BE CONTINUOUS FOR THE FULL FLIGHT & TERMINATE AT A NEWEL OR SAFETY TERMINAL ADJACENT TO THE HALL ALLOW 2" MIN. BTWN WALL & RAIL R 311.7.1 (IRC 2021).
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R311 & TABLE R301.5 (IRC 2021). THE MIN UNIFORM LIVE LOAD SHALL BE 200# AND A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX. PER R311 & 312 (IRC 2021). SEE DETAIL SHT.
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 mm) CANNOT PASS THROUGH.
- HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOT MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIV. GRIPPING SURFACE PER R311 (IRC 2021).
- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE "X" FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2021, TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" X 30" CLEAR OPENING (30" X 54" R.O.) & SHALL COMPLY WITH R601 (IRC 2021). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS
- ATTIC ACCESS/DISAPPEARING STAIRS IN THE GARAGE CLG. MAY BE INSTALLED PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 5/8" THICK FIRE RETARDANT TREATED PLYWOOD, 1/2" SHEET ROCK OR COVERED W/ A MIN. OF 16ga SHEET METAL. ROUGH OPENING SHALL NOT BE LESS THAN 22" X 30" AS PER IRC 2021, SECTION R601.1.
- ALL HEIGHTS ARE DEFINED FROM MAIN FINISHED FLOOR.
- SLOPE 1/8" PER EVERY 1'-0" TYP. AT PORCH, PAVILION, ETC.

bath schedule

- TILE FLOORS (AT WET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- TILE FULL AT SHOWER
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED
- SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2021).
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN T2" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD R307.2 (IRC 2021).
- ALL PLUMBING FIXTURES SHALL BE SPACED PER FIGURE R307.1 (IRC 2021)
- DROP SLAB AT SHOWER AS REQUIRED

square footage

FIRST FLOOR	10' CLG.	2 910
SECOND FLOOR	9' CLG.	2 176
LIVING AREA		5 086
PORCH		1 90
3 CAR GARAGE		1 54
COVD. PATIO		3 22
UNFIN. STOR.		4 96
TOTAL COVD. AREA		6 848

first floor plan

SCALE: 1/4" = 1'-0"

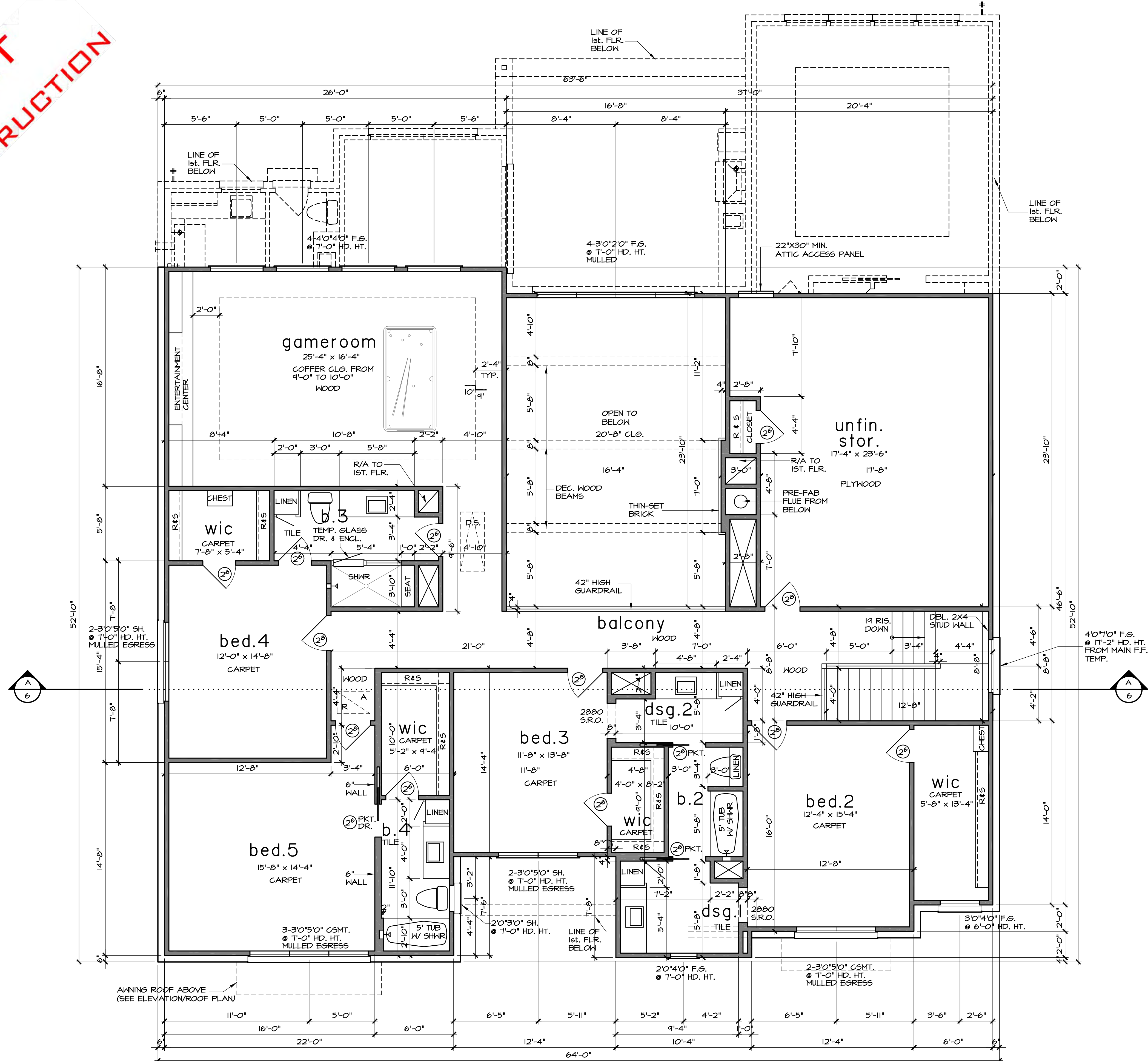
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PLAN NO. 5086 SHEET NO. 3 OF 12

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second floor plan

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PLAN NO. 5086

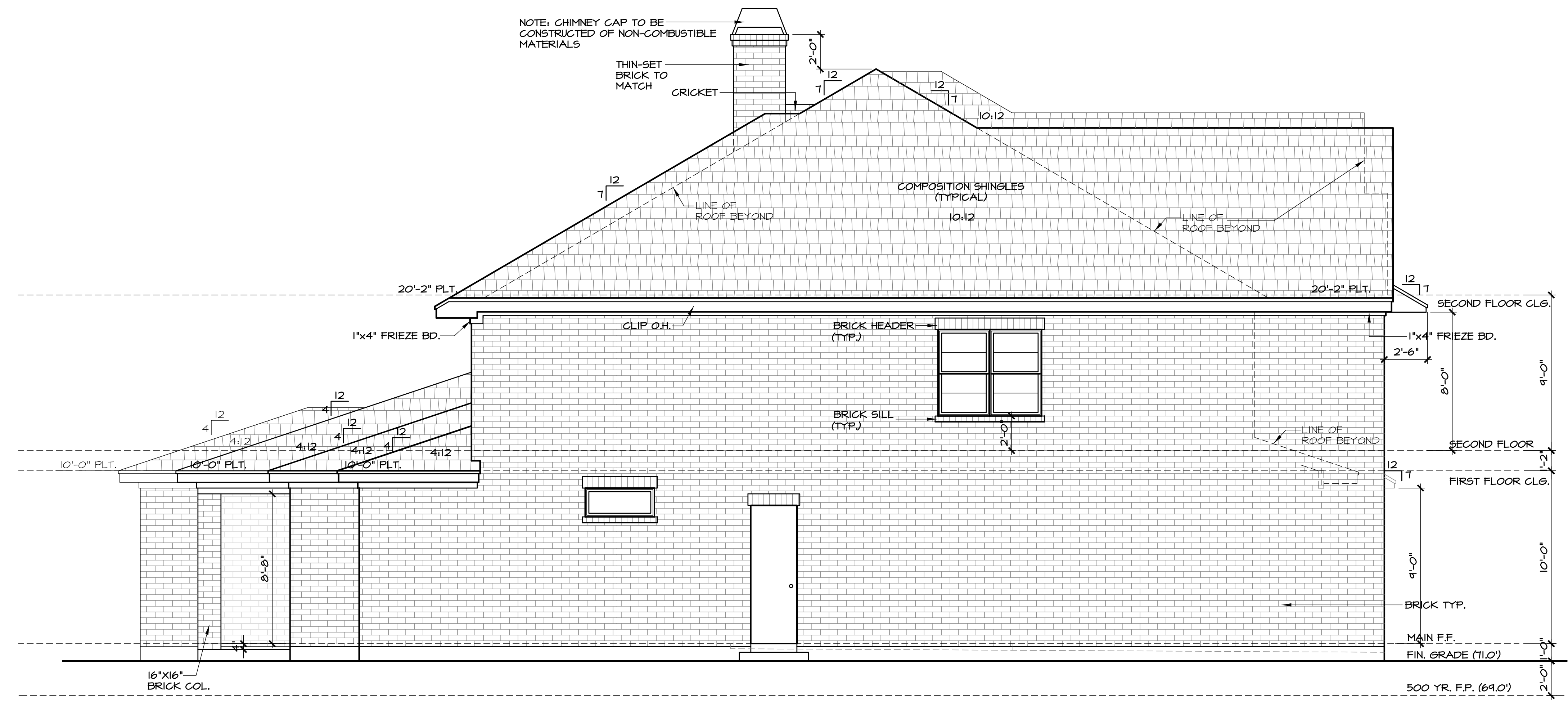
SHEET NO. 4 OF 12

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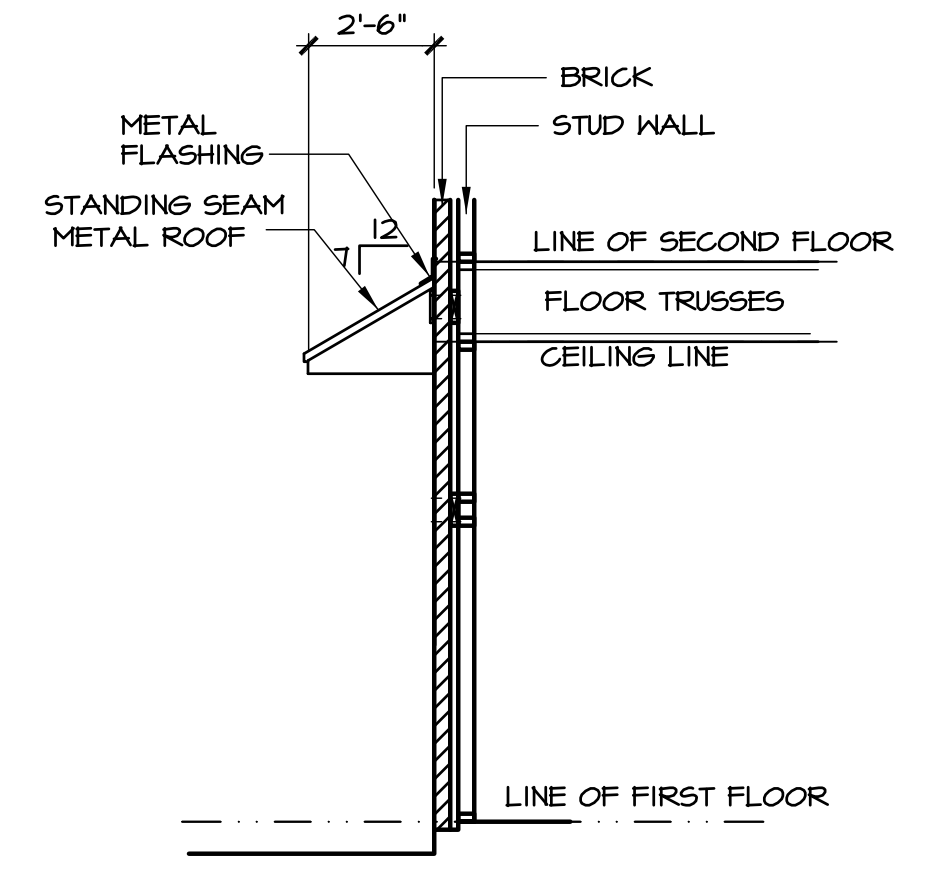
front elevation

SCALE: 1/4" = 1'-0"



left side elevation

SCALE: 1/4" = 1'-0"



awning roof detail

SCALE: 1/4" = 1'-0"
 BUILDER TO VERIFY DETAILS PRIOR TO CONSTRUCTION

elevation notes

- OVERHANG TO BE 1'-6" FROM EXTERIOR FRAME AT 10:12 SLOPE, OTHERS TO MATCH.
- RAKES TO BE 8" FROM EXTERIOR WALL.
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH R1003.1.2, IRC 2021, WITH 1/2" GAP MAX.
- GUTTERS AND DOWNSPOUTS PER BUILDER.
- PROVIDE STEEL LINTEL AT ALL OPENINGS WITH BRICK ABOVE. REFER TO REAR DETAIL SHEET.
- BRICK/MASONRY VENEER SHALL BE SUPPORTED PER R1003.9, IRC 2021.
- WINDOW SILLS SHALL BE 24" A.F.F. MIN ABV THE FIRST FLOOR. WINDOWS LESS THAN 24" A.F.F. SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS.

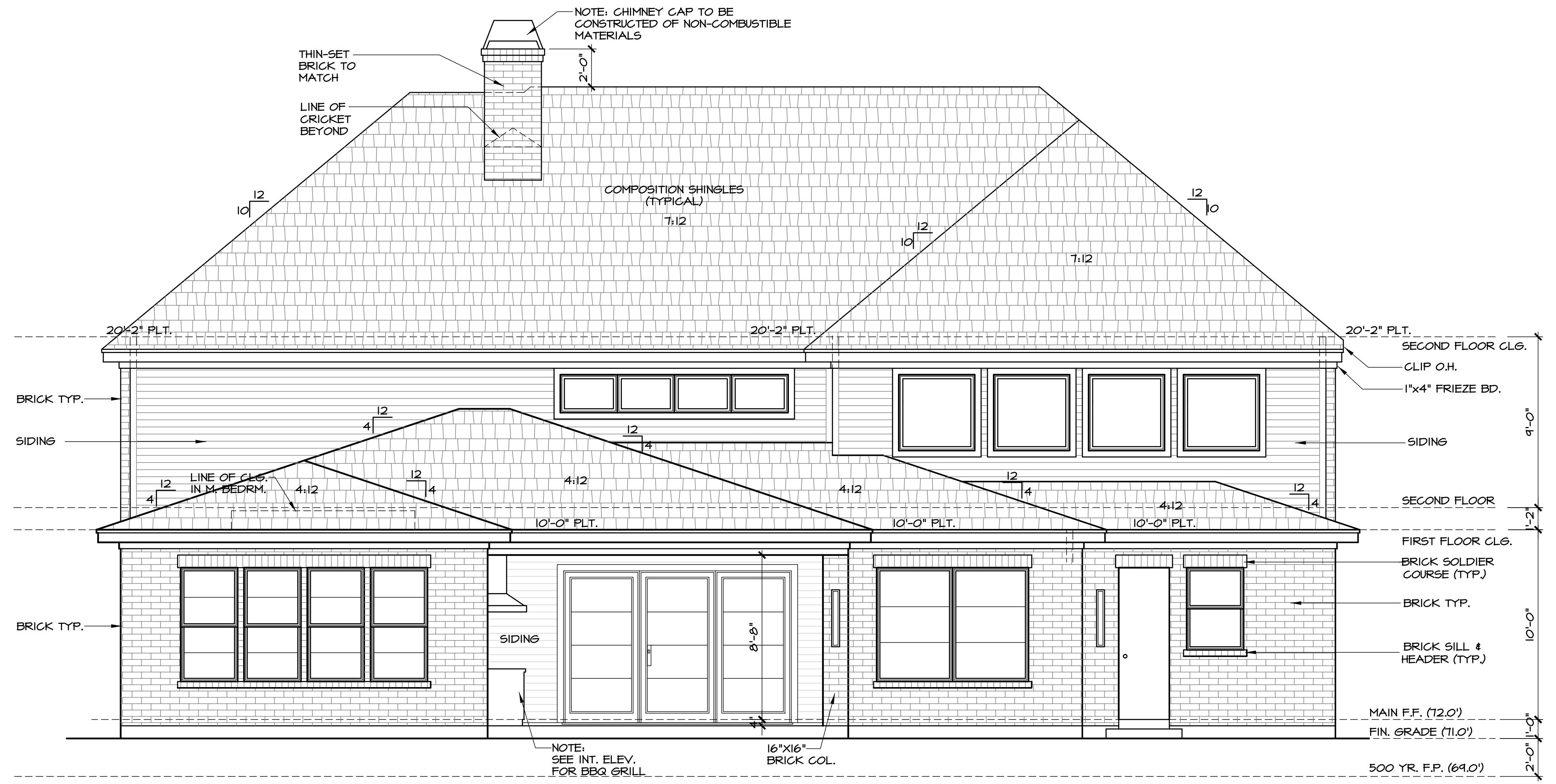
elevations

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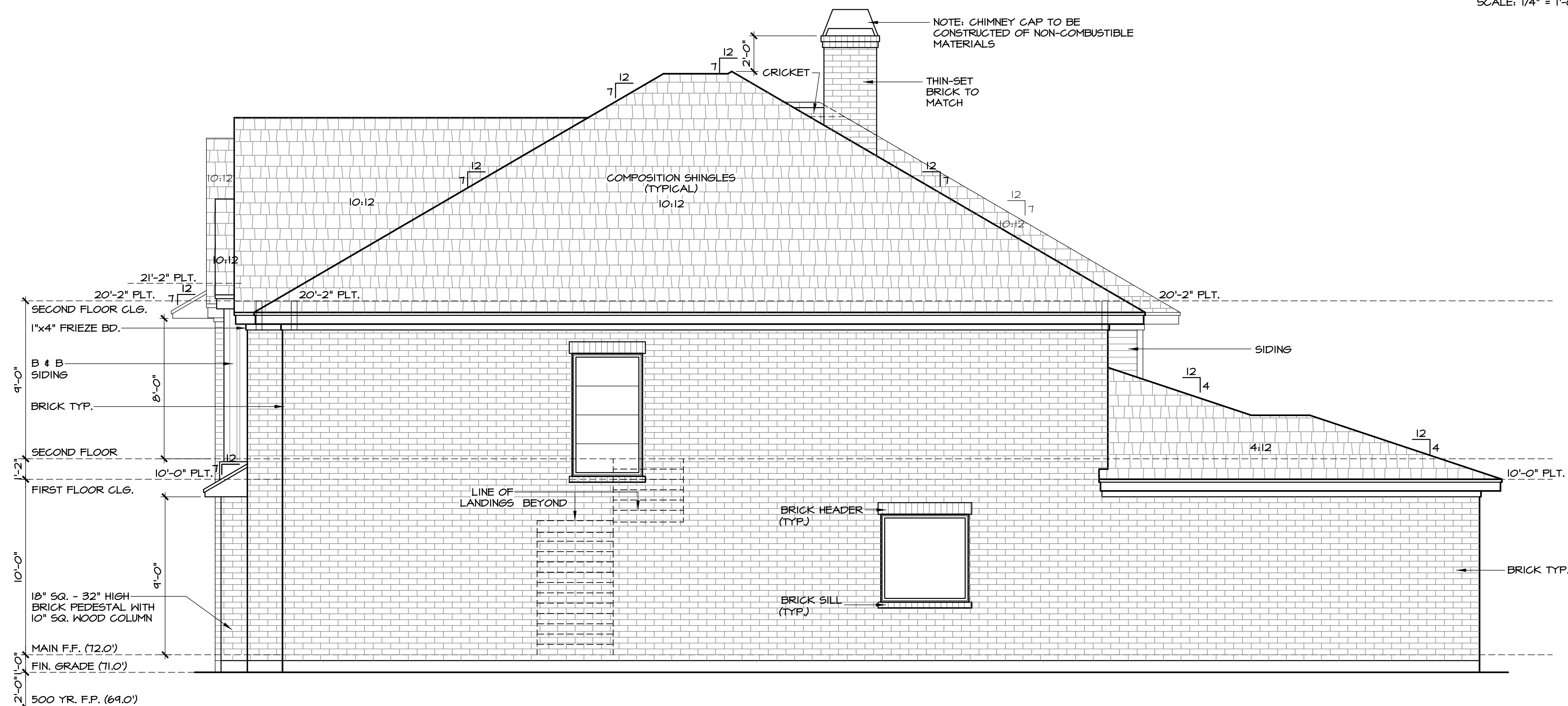
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rear elevation

SCALE: 1/4" = 1'-0"



right side elevation

SCALE: 1/4" = 1'-0"

elevation notes

- OVERHANG TO BE 1'-6" FROM EXTERIOR FRAME AT 10:12 SLOPE, OTHERS TO MATCH.
- RAKES TO BE 8" FROM EXTERIOR WALL.
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH R1003.4.2, IRC 2021, WITH 1/2" GAP MAX.
- GUTTERS AND DOWNSPOUTS PER BUILDER.
- PROVIDE STEEL LINTEL AT ALL OPENINGS WITH BRICK ABOVE. REFER TO REAR DETAIL SHEET.
- BRICK/MASONRY VENEER SHALL BE SUPPORTED PER R1003.9, IRC 2021.
- WINDOW SILLS SHALL BE 24" A.F.F. MIN ABV THE FIRST FLOOR. WINDOWS LESS THAN 24" A.F.F. SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS.

elevations

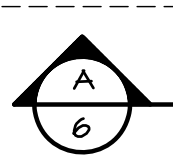
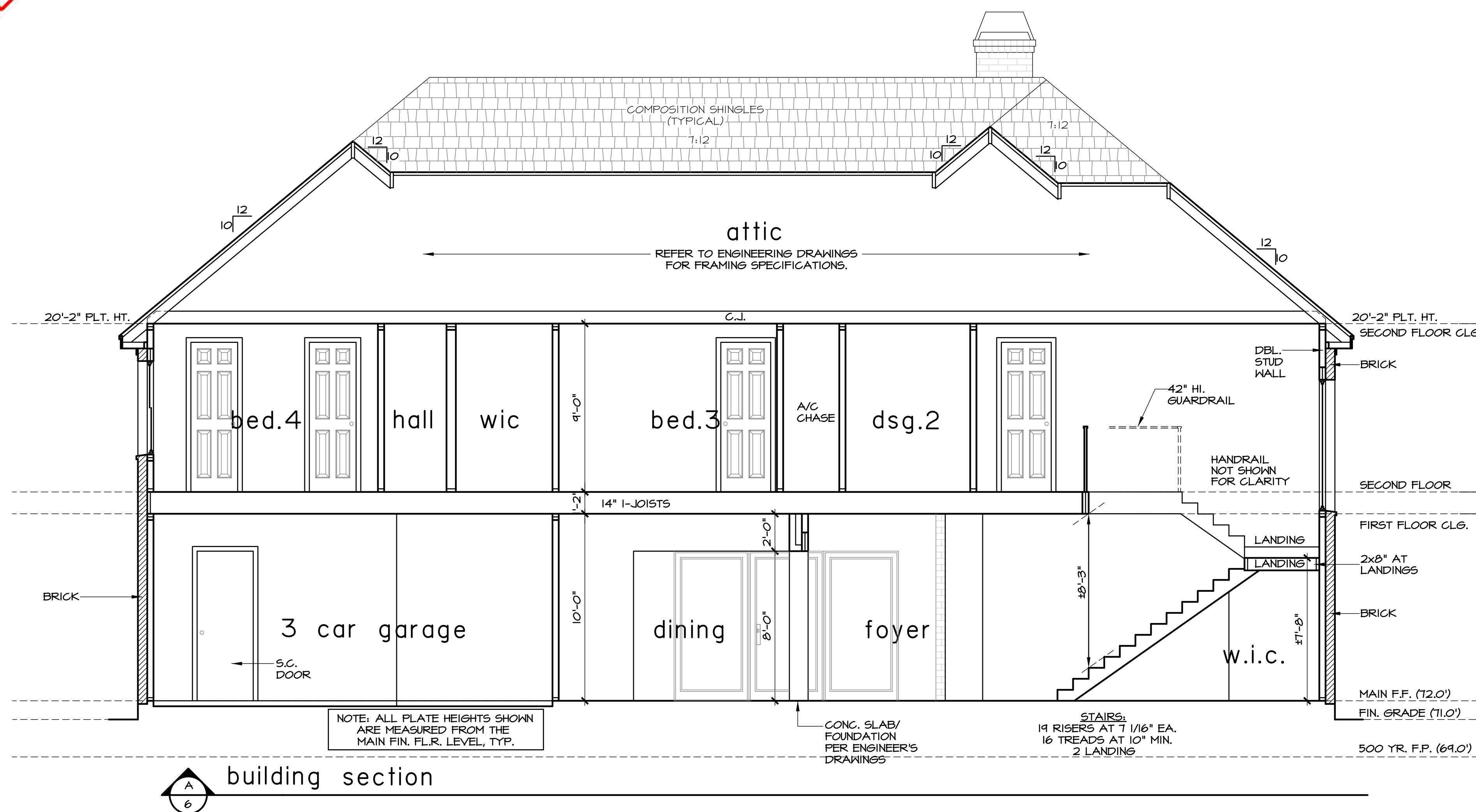
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PLAN NO. 5086

SHEET NO. 6 OF 12

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building section

section notes

- ALL LOAD BEARING STUDS TO BE 16" O.C.
- JOISTS SHALL BE SUPPORTED Laterally AT EACH END AND AT SUPPORT PER R602 (IRC 2021).
- SOLID BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND MUST BE THE FULL DEPTH OF JOIST PER R602 (IRC 2021).
- ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY BRACED AT EACH END OR AS NEAR THERE TO AS POSSIBLE, AND AT LEAST EVERY 25' OF LENGTH & COMPLY R602 (IRC 2021).
- PURLIN BRACE SHALL BE 45 DEGREES OR GREATER AND SHALL NOT EXCEED 8' IN LENGTH WITHOUT LATERAL SUPPORT OR STIFFENERS (SEE ENGINEER'S DATA ATTACHED).
- ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECH. EQUIP. AND LIMITED LIGHT STORAGE.
- PROVIDE STEEL LINTEL AT ALL OPENINGS WITH STONE ADV. RE:SEE ENGINEER FRAMING PLANS
- MASONRY VENEER SHALL BE SUPPORTED PER R103.B (IRC 2021)

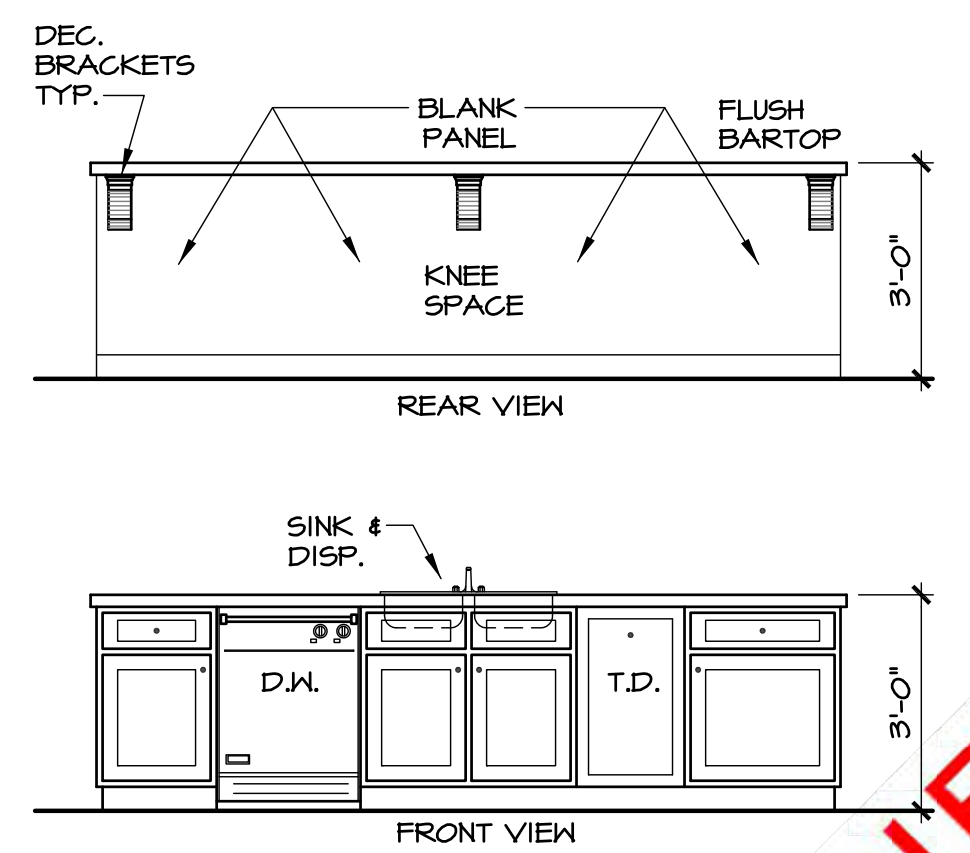
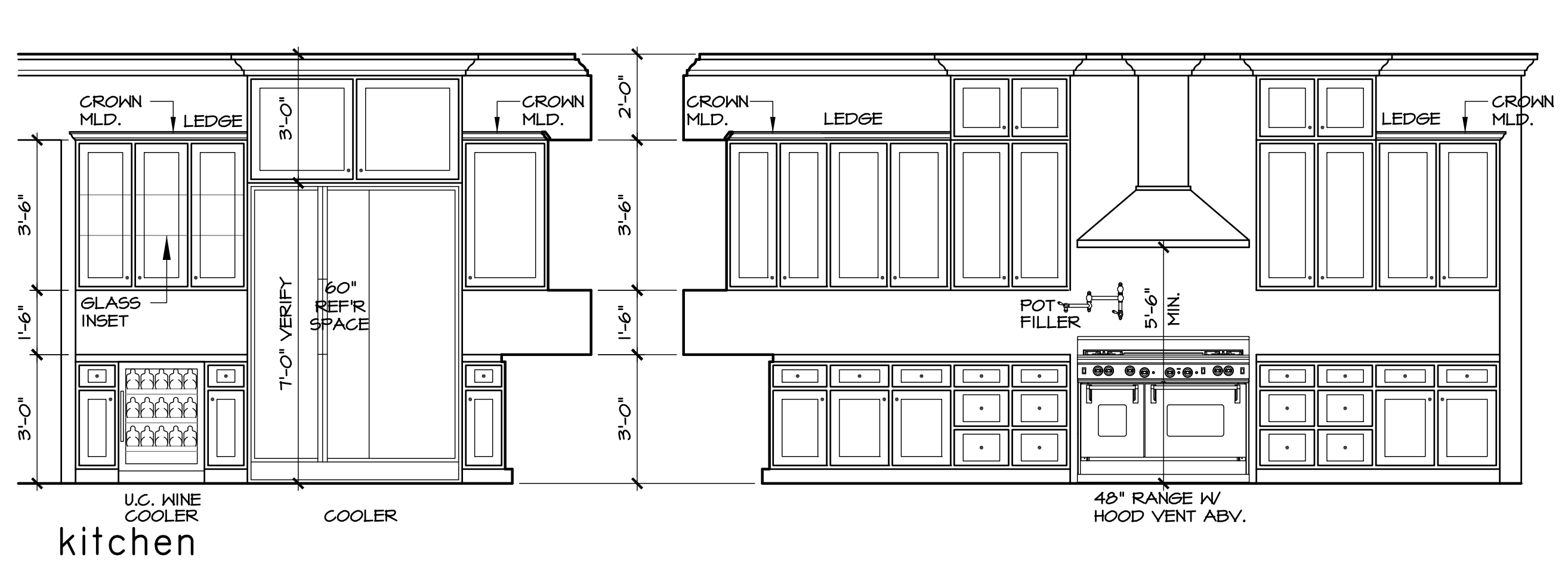
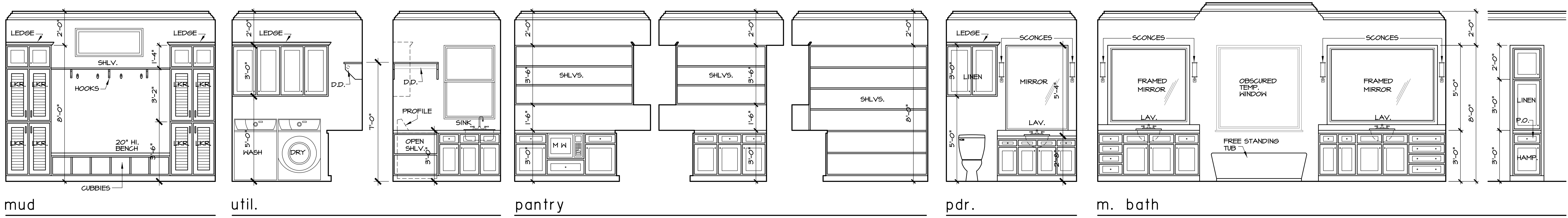
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cross section

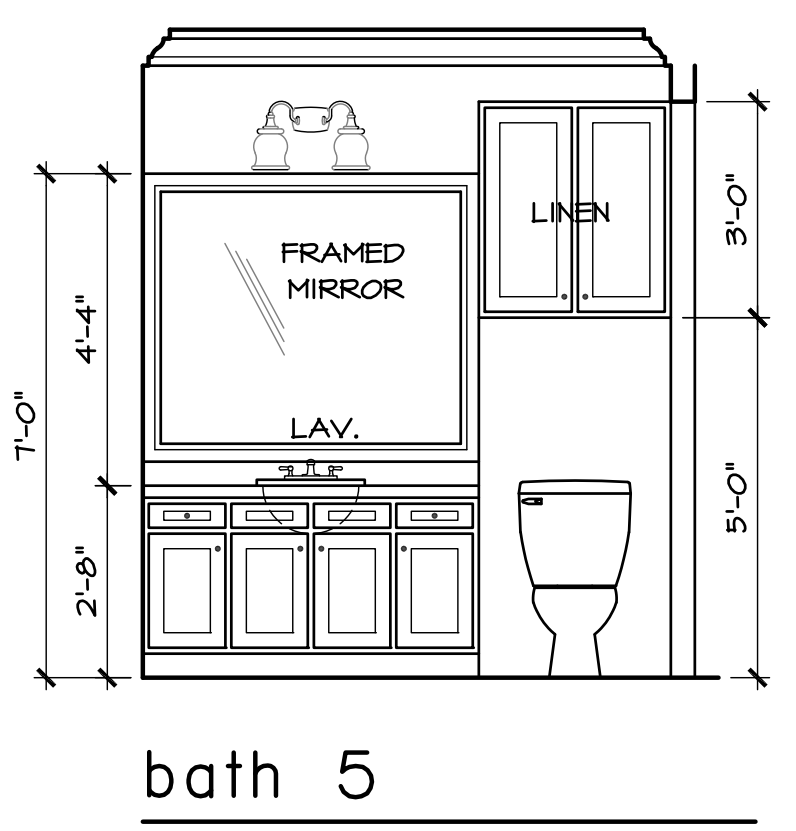
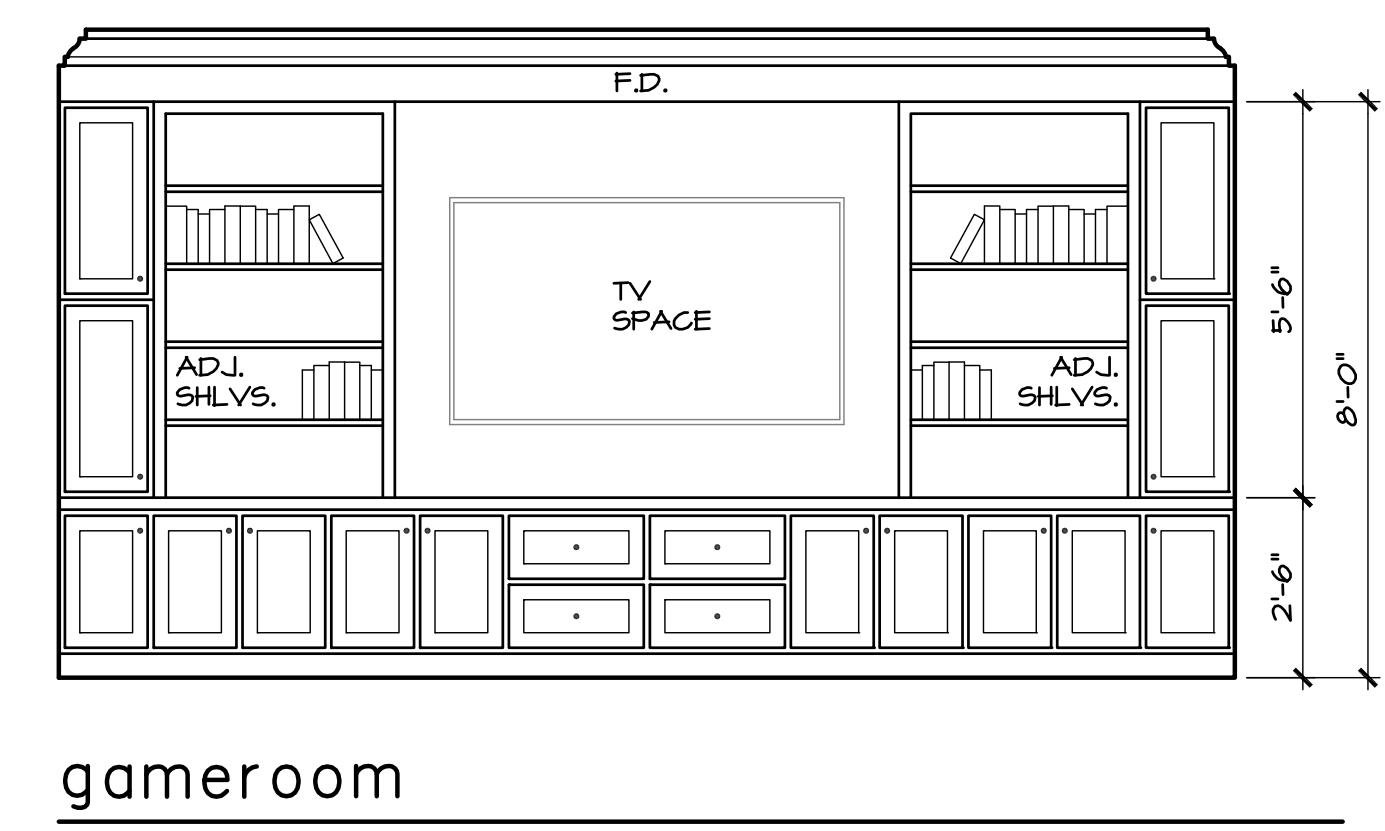
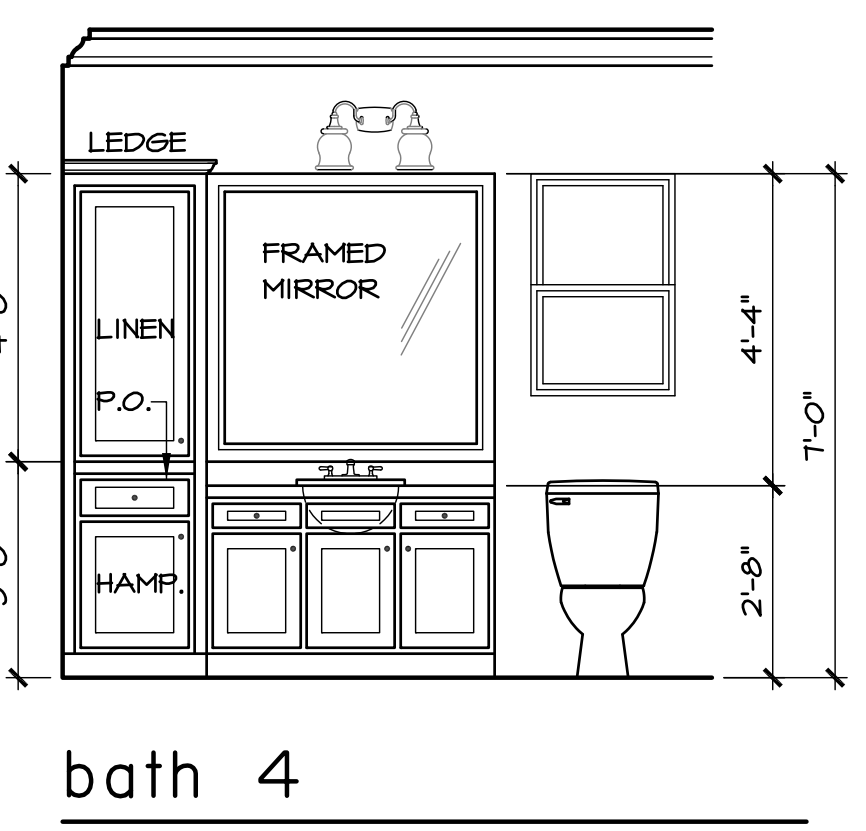
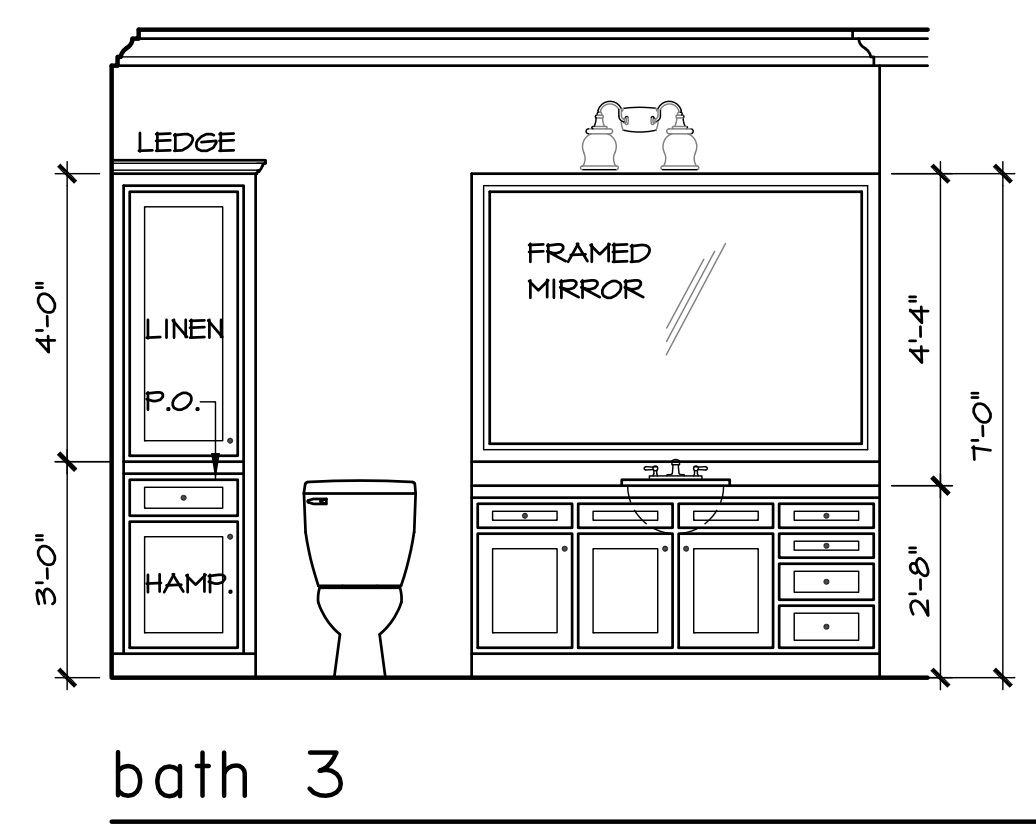
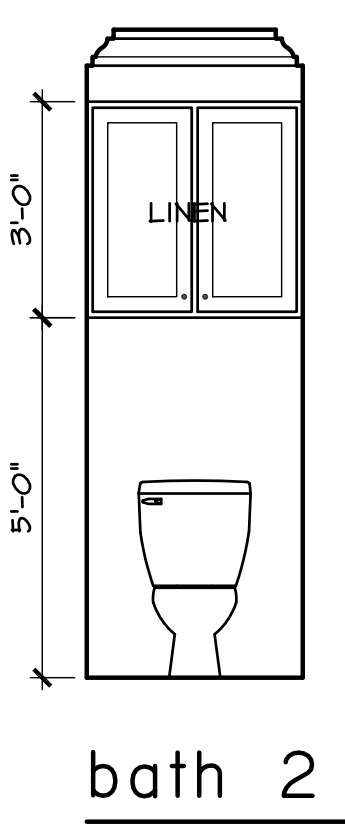
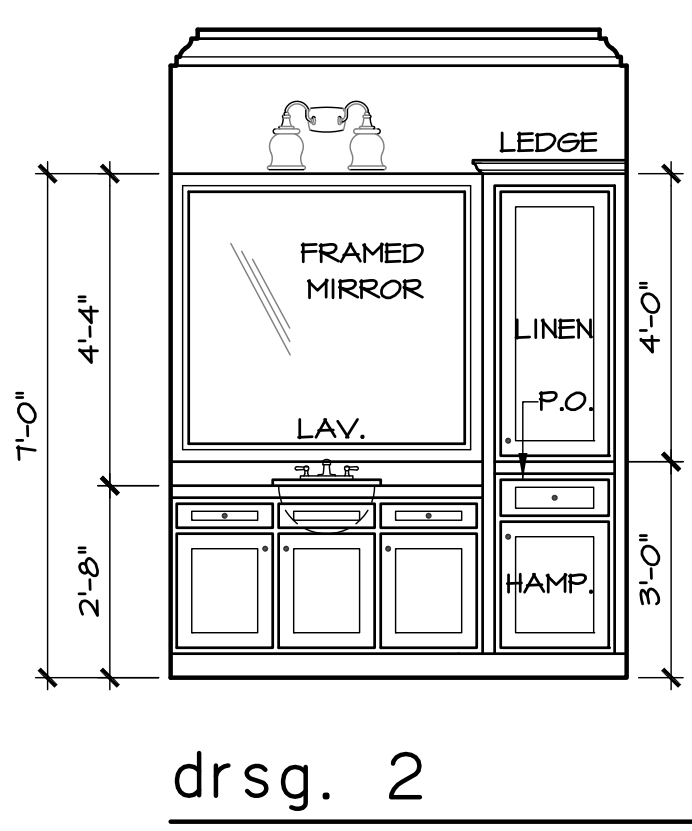
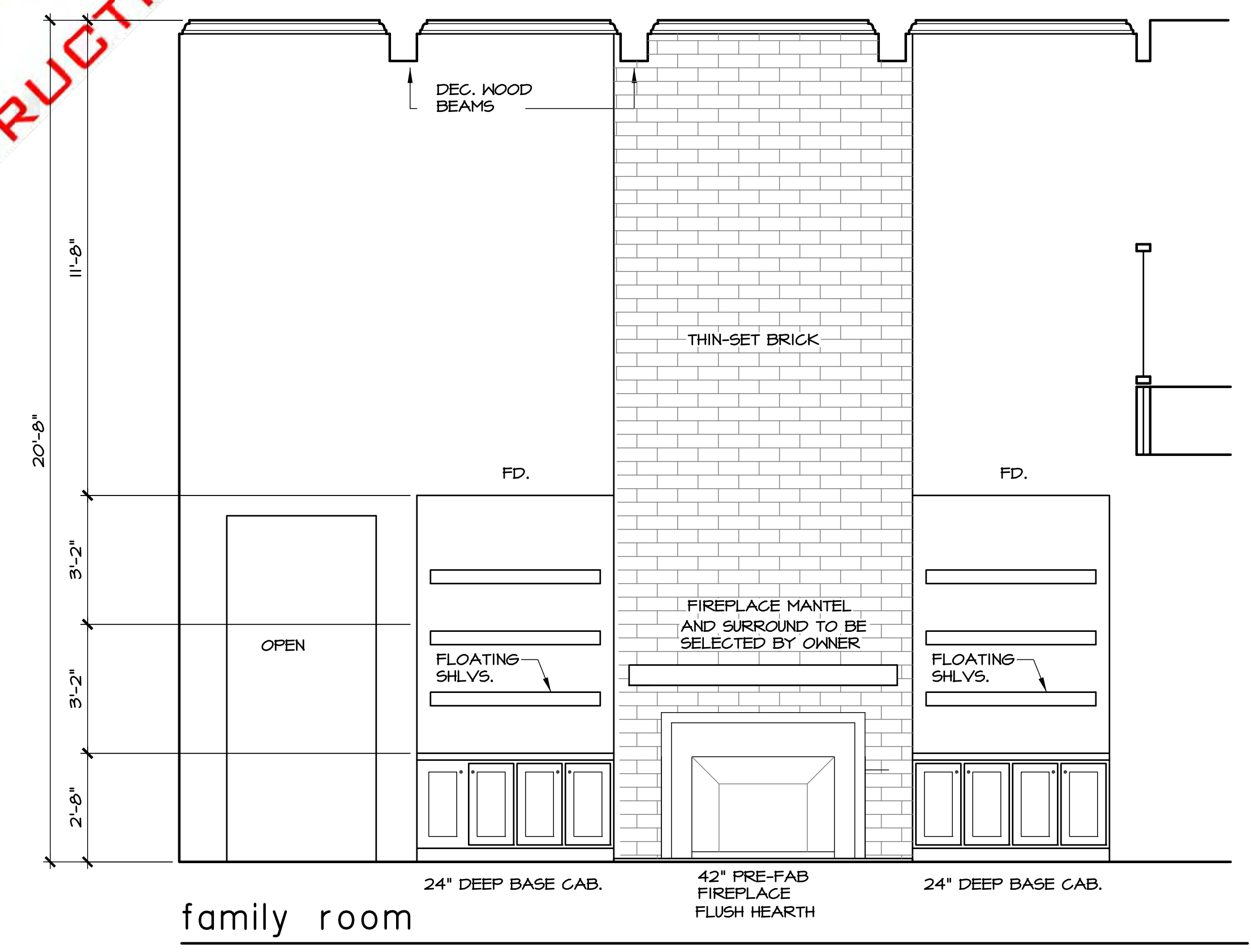
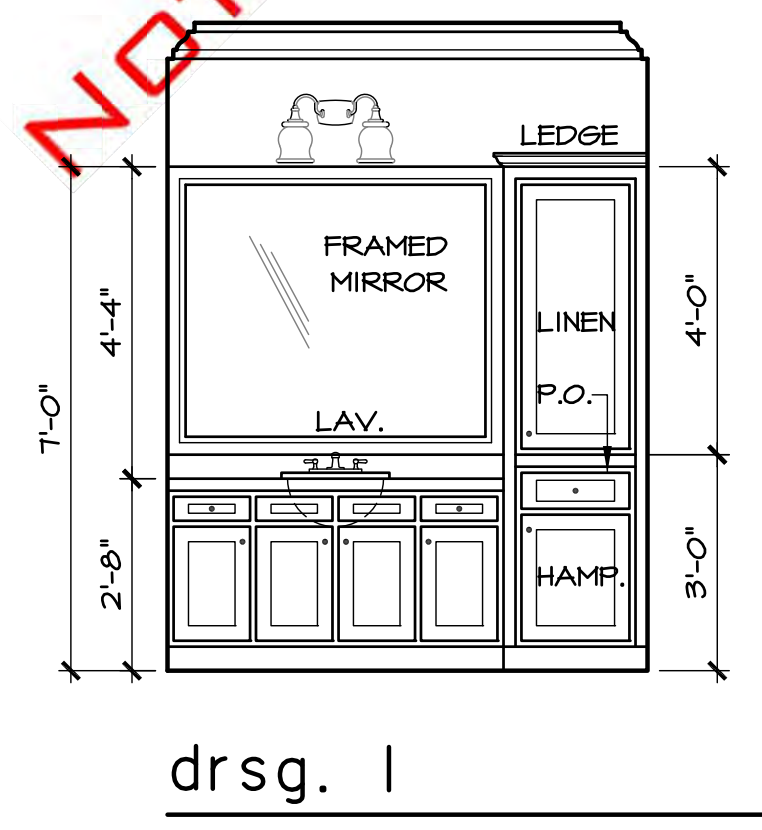
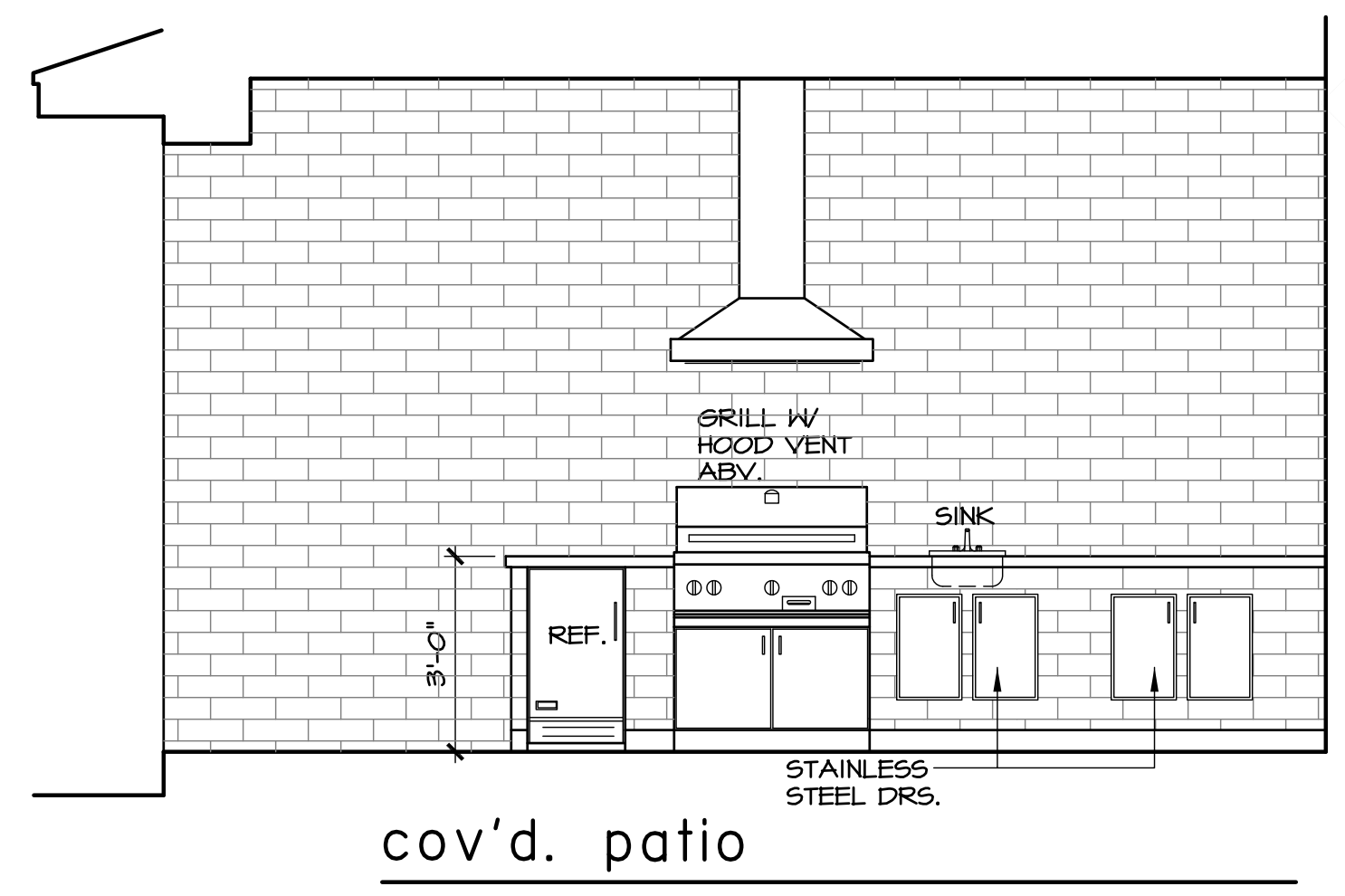
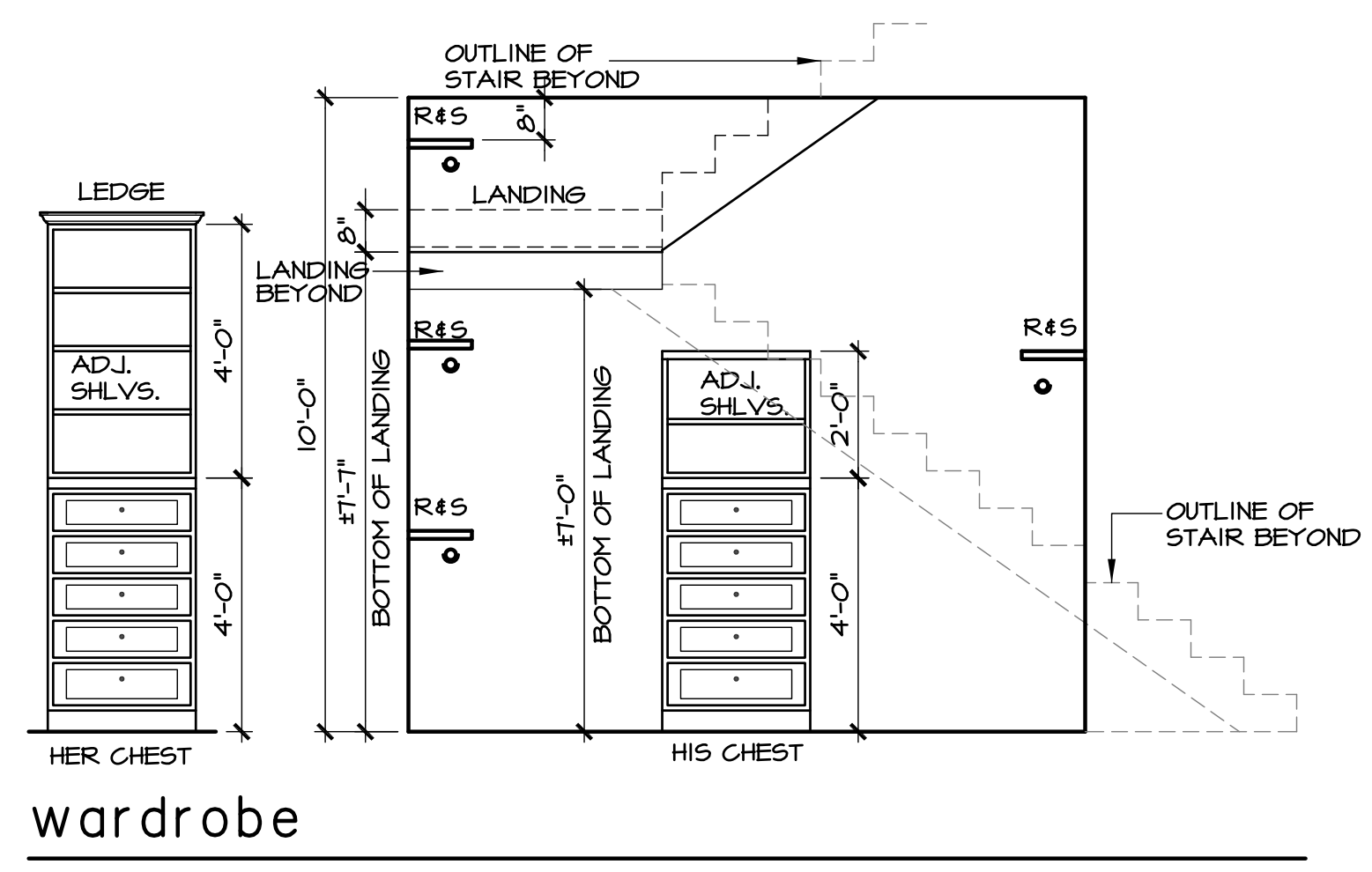
SCALE: 1/4" = 1'-0"

1510 Longacre Dr.
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PLAN NO. 5086	SHEET NO. 7 OF 12
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NOTE:
VERIFY ALL CABINET, TRIM, ARCH, ETC.
DESIGNS W/ OWNER PRIOR TO BID.
VERIFY ALL WOOD TYPES, MOULDING
LAYOUTS, STAIN/PAINt GRADES PRIOR
TO BID, TYPICAL THROUGH-OUT.

interior elevation

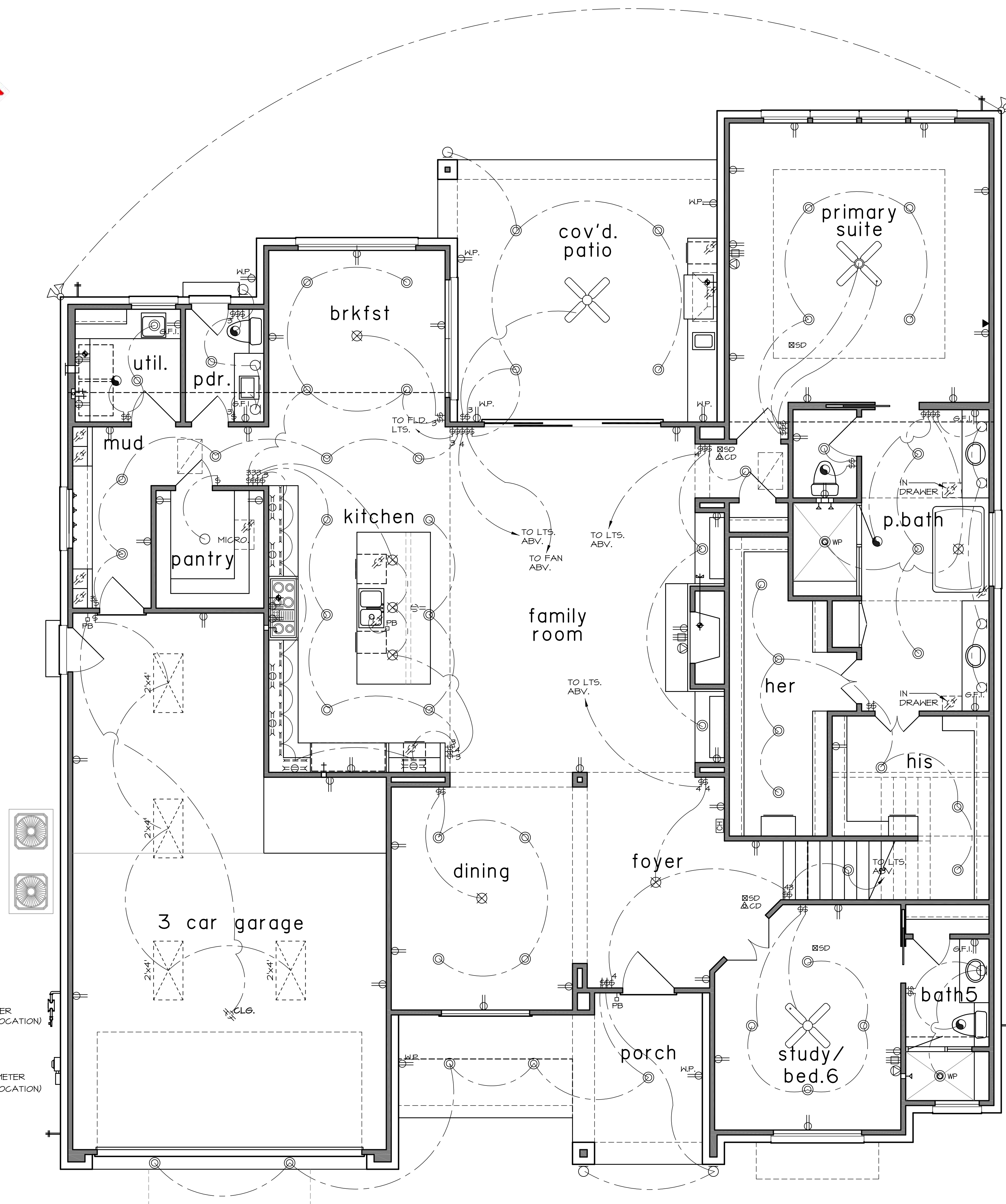
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Houston, TX 77055

PLAN NO. 5086 SHEET NO. 8 OF 12

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250050 REF: 230061 06.04.2025

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PROVIDE ELECT. FOR
A/C CONDENSER UNITS
WITH DISCONNECT
(VERIFY LOCAT.)

GAS METER
(VERIFY LOCATION)

ELECT. METER
(VERIFY LOCATION)

legend

- ⊕ 110 VOLT RECEPTACLE
- ⊕WP WATERPROOF RECEPTACLE
- ⊕GFI 110 VOLT W/ GROUND FAULT INTERRUPTOR
- ⊕PS 110 PLUS STRIP (UNDER UPPER CABINET)
- FLR. 110 VOLT IN FLOOR
- ⊕ 220 VOLT RECEPTACLE
- ⊕ TELEVISION ANTENNA
- ▼ TELEPHONE OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕3 THREE WAY SWITCH
- ⊕4 FOUR WAY SWITCH
- ⊕DIM DIMMER SWITCH
- ⊕ VACUUM SWITCH
- ⊕PB PUSH BUTTON
- ⊕SD SMOKE DETECTOR
- ⊕CD CARBON MONOXIDE DETECTOR
- ⊕ CHIMES
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED HANGING FIXTURE
- ⊕ RECESSED CAN LIGHT
- ⊕WP WATERPROOF RECESSED CAN LIGHT
- ⊕ RECESSED EYEBALL SPOT LIGHT
- ⊕SL 4" SOFFIT LIGHT (ROOF OVERHANG)
- ⊕ PIN LIGHT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ PC PORCELAIN FIXTURE W/ FULL CORD
- ⊕ FLOOD LIGHTS
- ⊕ EXHAUST FAN
- ⊕ NETWORK DROP, ALLOW FOR TEL, CATV, CAT6
- ⊕ JUNCTION BOX
- ⊕ CEILING FAN
- ⊕ CEILING FAN W/ LIGHT
- ⊕ LED LIGHT PANEL
- ⊕ UNDER CABINET LT.
- ⊕ TRACK LIGHTS

notes

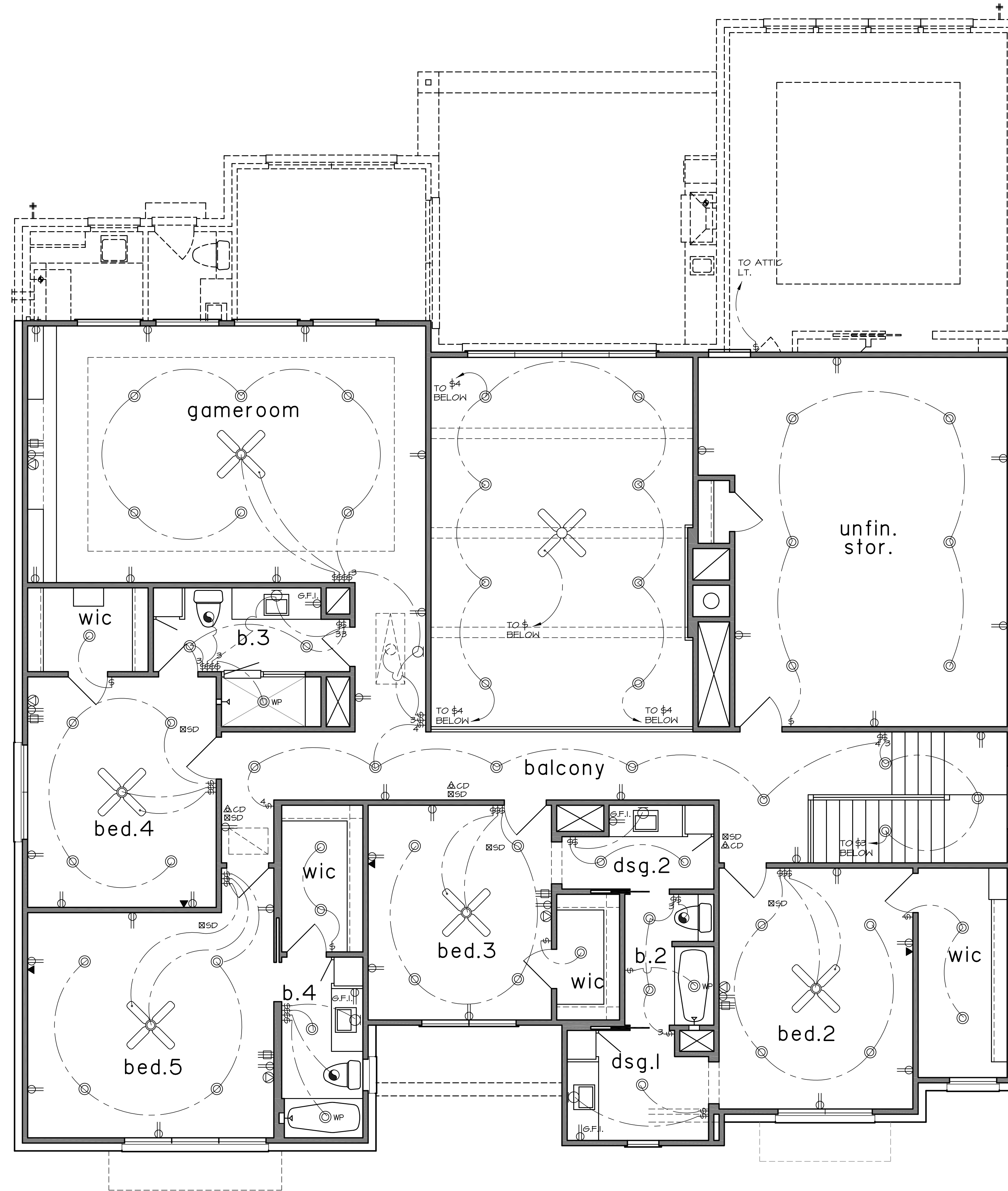
- ALL CONSTRUCTION SHALL COMPLY W/ IBC 2021, NEC 2023 & NFPA TO 2020.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. MULTIPLE UNITS SHALL BE INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A. LOCATION TO COMPLY WITH R314 IRC.
- VENT ALL EXHAUST FANS TO OUTSIDE
- PROVIDE G.F.I. PROTECTION AS REQ'D.
- PROVIDE LIGHT FIXTURE AND SMOKE DETECTORS AT EACH WATER HEATER AND A/C UNIT LOCATION IN ATTIC
- PROVIDE DIMMER SWITCHES @ RECESSED LT'S. AND DECORATIVE LT'S.
- PROVIDE ELECTRIC DISCONNECT AT EACH A/C UNIT
- ALLOW FOR A/C UNITS PER MECH. ENGINEER.
- PROVIDE LOW VOLTAGE CIRCUITS FOR SECURITY SYSTEM
- PROVIDE LOW VOLTAGE CIRCUITS FOR AUDIO SYSTEM AND SPEAKER LOCATIONS BY OWNER.
- PROVIDE CIRCUITS FOR FRONT AND REAR YARD LIGHTING
- ALL BEDROOMS BRANCH CIRCUITS MUST BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER AS PER THE 210-12 NEC.
- GFCI PROTECTION SHALL BE PROVIDED IN ACCORDANCE W/ ELEC. CODE 210.8 NEC. ALL OUTLETS @ KITCHEN, BATHS & GARAGES SHALL BE ON GFCI.

first floor electrical plan

SCALE: 1/4" = 1'-0"

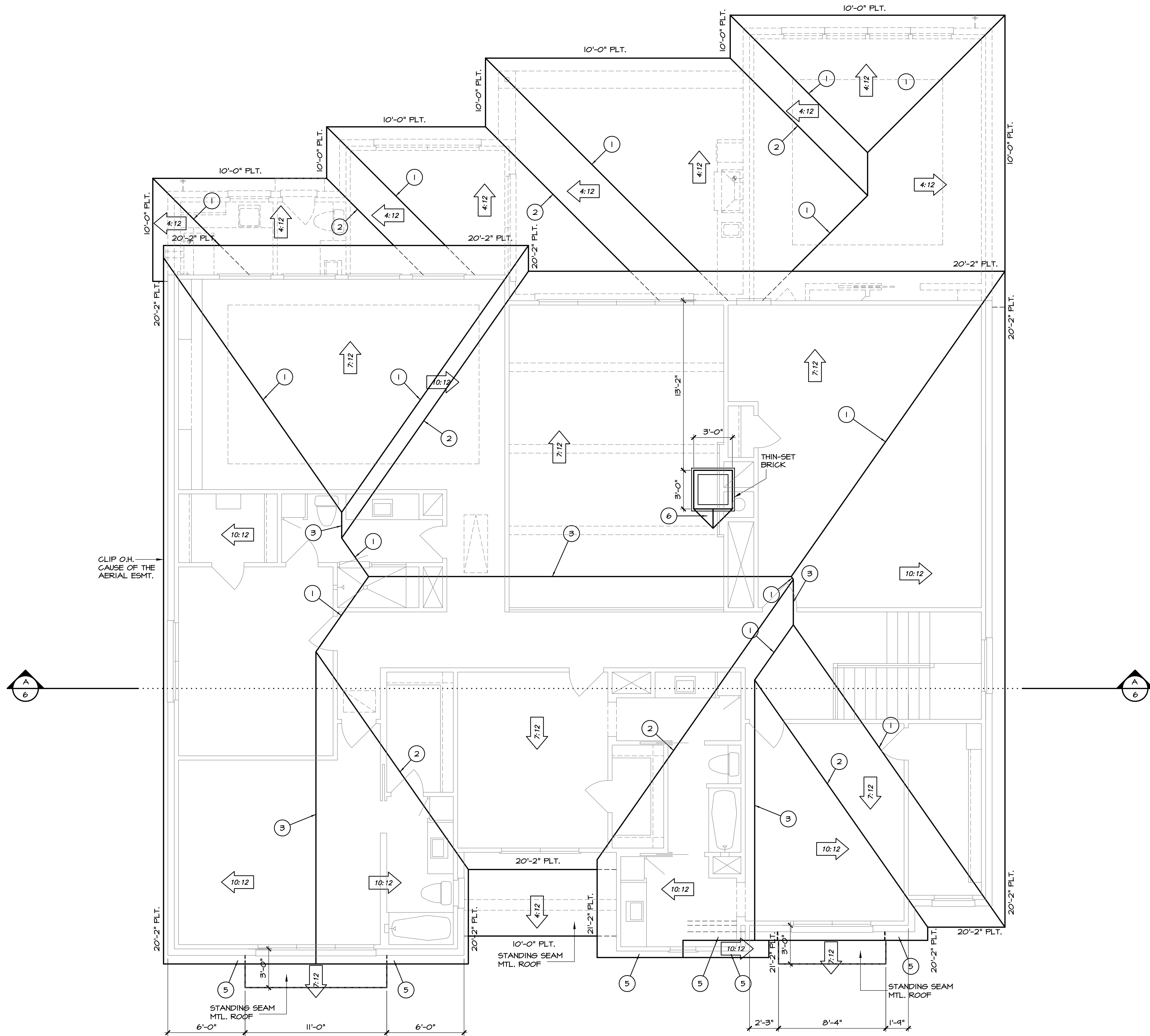
1510 Longacre Dr.
Houston, TX 77055

PLAN NO. 5086	SHEET NO. 9 OF 12
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second floor electrical plan

SCALE: 1/4" = 1'-0"



CHECK SET
NOT FOR CONSTRUCTION

roof notes

- CRICKETS SHALL BE APPLIED TO ROOF DECKING.
- ROOF PITCHES AS INDICATED HEREON.
- DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLITS, AND ANY MAJOR ROOF OPENINGS.
- OUTLOOKERS TO BE 2x4 AT 16" O.C.
- RAKES TO BE 8" UNLESS OTHERWISE NOTED.
- FASCIAS AND RAKE BOARDS TO BE 1x6.
- ATTIC VENTILATION CALCULATIONS SHALL BE PROVIDED BY HVAC CONTRACTOR AND SHALL COMPLY WITH CODE REQUIREMENTS R 806 AND OTHER RELATED SECTIONS.

- ① HIP
- ② VALLEY
- ③ RIDGE
- ④ PURLIN
- ⑤ OUTLOOKERS
- ⑥ CRICKET
- ⑦ KICKOUTS

SULLIVAN HENRY OSSERO & ASSOC., INC. IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. WE ARE NOT QUALIFIED TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONSULTED REGARDING THE FRAMING AND FOUNDATION. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN. SULLIVAN HENRY OSSERO & ASSOC., INC. WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH MAY ARISE.

roof plan

SCALE: 1/4" = 1'-0"

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PLAN NO. 5086	SHEET NO. 11 OF 12
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